

THE STATION PRECINCT

INVITATION TO TENDER

The Station Tenancy and Development Options
(33 James St, Yeppoon | Lot 2 SP230820)



TENDER CLOSING TIME 5.00pm Monday 3 October 2022

TENDERS MUST BE RECEIVED NO LATER THAN THIS TIME AND DATE

This cover page and the following contents comprise the Invitation to Tender.

ENQUIRIES

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LOCATION



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- Appendix C - The Station - Images of Building and Surrounds

1. CONDITIONS AND DETAILS OF TENDER

1.1 Purpose

Livingstone Shire Council (‘Council’) is seeking selective tenders for the long-term lease, sale, or a combination of both options, of a Council owned land allotment in Yeppoon known as The Station Precinct (‘the Property’). Tender responses will allow Council to make an informed decision regarding the most suitable development proposal, so that the best outcome is achieved for the community.



1.2 General Description and Development Outcomes

The Property is owned by Council. Grant funding for Council to activate the western half of the site is available. Council is seeking to activate the western half of the site (including the historic railway station) as a community/entertainment precinct and the eastern half of the site with ground floor mixed retail and commercial uses and high-density residential apartments above.

The Station - 33 James Street, Yeppoon [Lot 2 on SP230820]

IMAGE 1 - SURVEY ON LOT PLAN

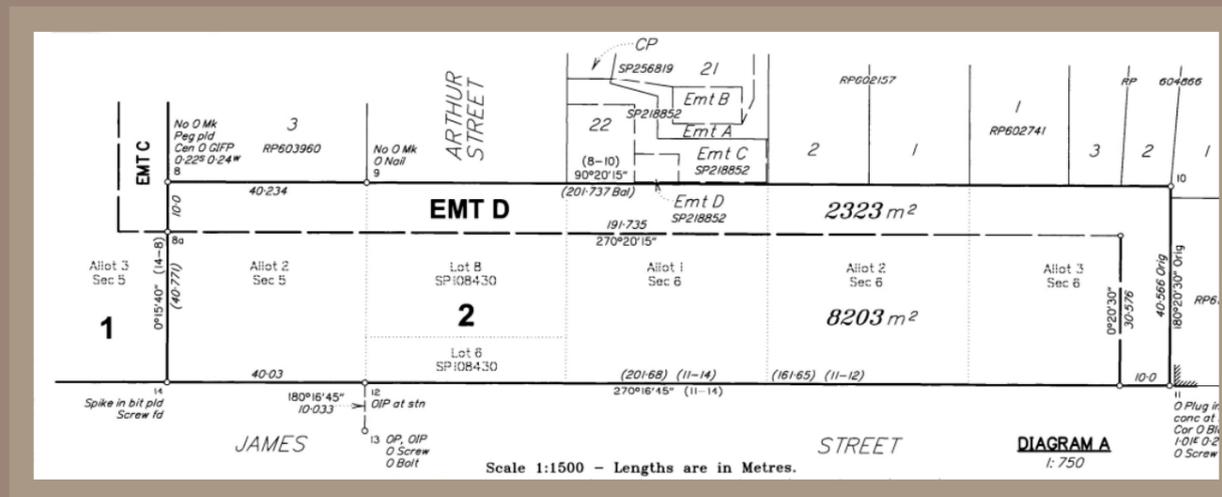


IMAGE 2 - THE STATION APPROXIMATE PRECINCT PARCEL SPLIT



The Station site is approximately 8,203 square metres and includes the historic railway building. It is located in the main street and at the entry way to the Yeppoon central business district, directly opposite a major shopping centre and less than 1 km to the foreshore.

Vision - Western Community/Entertainment Precinct

A community entertainment and meeting precinct centred around the heritage listed Station building. The heritage listed Station building will host uses that activate the front and rear of the building, including the platform. Potential tenancies include:

- a. food services such as a café, coffee shop;
- b. micro-brewery (subject to an MCU);
- c. bookstore;
- d. activities such as paint and sip;
- e. pop-up retail (seasonal or transitory).

Suitable temporary/permanent low impact tenancies for the adjacent outdoor space might include:

- a. overflow from the Station building's interior use;
- b. temporary activities such as pop-up food courts, events, markets and related/similar community-binding functions; and/or other artisan precinct focused tenancies.

The development will ideally include a separate multi-purpose building that can be used by community support services post disaster events. In periods between disasters, this building could be used as a multi-purpose meeting space, co-working space, or artisan makerspaces.

It is intended that the area surrounding the Station building will be used in community support avenues, preferred activation activities include public markets, an eat street style entertainment and socialisation precinct facility to support community events, workshops and weekend events. Open space/park areas and pathways for families will need to be integrated within the development.

Council is looking for an interested third party to develop, manage and maintain the Western Community/Entertainment Precinct through a long-term lease arrangement. The funding Council has received for the development of a Community Recovery Space may be used in a collaborative partnership to value-add to the development and activation of this precinct.

Vision - Eastern Mixed Use/High Density Residential Vision

It is well-known that Yeppoon is facing a housing crisis. Housing demand has pushed housing prices to all-time highs and rental vacancy rates are less than 1%. This is impacting employment (workers cannot find or afford accommodation) and increasing homelessness. The immediate provision of diversity in housing supply, choice and affordability is essential.

To meet this need Council is proposing to sell the eastern portion of the site to allow for ground floor mixed commercial and retail uses and high-density residential apartment style development on the upper levels.

Due to the prominence of the site, Council is committed to collaborating with the successful tenderer to ensure high quality built design that will complement the ultimate development of the CBD.

Recognition of Importance of Heritage Value of the Station Building and Platform

The Station building was once an important transport hub and formed a significant cultural environment. It was a place of employment, a meeting place for local producers bringing goods to market, an arrival and departure point for both visiting and local passengers and the transport of regular mail. Any development on the site must understand and be sympathetic to the cultural heritage significance of the place and use it to inform and influence planning and design.

OPEN SPACES



OUTDOOR COVERED AREAS



POP UP ACTIVITIES



MIXED USED RESIDENTIAL



1.3 Consideration of Flexible/Collaborative Purchase and or Lease Proposals

Council's ultimate objective for this site is to see it developed in a manner that supports the town centre's maturation into a more vibrant, attractive and distinctive precinct for the community. Therefore, Council may consider flexible/collaborative development, purchase and or lease proposals, if overall the proposal will achieve desired community outcomes.

In regard to the above, Council will look favourably upon a singular application that is inclusive of the preferred development outcomes and coherent vision for both precincts.

1.4 Grant Funding for Historic Railway Station and Surrounds

Livingstone Shire Council [Council] was successful in an application to the Commonwealth Government for funding through its Black Summer Bushfire Recovery Grants Program. Council's application was made on the basis that the funding could be used to activate the former Yeppoon Railway Station site [the Station] as a community recovery space, including construction of a large under cover meeting area/ central gathering and coordination space after disaster events.

Specifically, activating the Station will involve:

- a. construction of a large outdoor undercover area;
- b. providing services [electrical, water and sewer] to the historic railway building;
- c. basic internal railway building fit-out [for example, ceiling, lighting and air-conditioning]
- d. site earthworks;
- e. landscaping;
- f. formalised public parking; and
- g. feasibility studies to facilitate activation of the site.

1.5 Council Development Objectives

Council envisages that this site is activated in a manner that:

- a. responds to the needs of the community;
- b. adds immediate value;
- c. supports the long-term growth of the town centre and the region in general;
- d. creates economic development opportunities through unique offerings, increasing local jobs;
- e. provides a mix of high-density housing choice that incorporates affordable options;
- f. provides a revenue stream to Council for the duration of the lease[s];
- g. supports, leverages, or at least does not unduly constrain the potential for more intensive development of the site in the future;
- h. complies with the purpose of the grant; and
- i. complements, or at least does not conflict with the purpose of the grant funds employed to undertake the site improvements necessary to facilitate activation.

Council's ultimate objective for this site is to see it developed in a manner that supports the town centre's maturation into a more vibrant, attractive and distinctive precinct. There are multiple options for how this might be achieved. Whichever eventuates, Council's intent is that the development will make a positive contribution to the community without enduring cost obligations to Council and the community. Ideally, this development will provide a model to leverage complementary and innovative development by the private sector in other areas of the town centre.

1.6 Suitable Occupancies and Town Planning Consideration

Eligible uses are informed by the Planning Scheme and associated Council regulations. Refer to [Livingstone Shire Planning Scheme 2018 \[Version 3\]](#). The Major Centre zone outlines the preferred uses and overall outcomes sought for this area.

All applications are assessed on merit, based on the information provided in the application and a performance assessment of the planning scheme provisions relevant to the Major centre zone code and Strategic Framework.

Caveat: proposed uses cannot in any way compromise use of the site for operations as a community recovery space in the event of major disasters [as described above].



1.7 Lessee's Responsibilities – Western Precinct

Subject to negotiation, the successful Lessee[s] will be responsible for:

- a. Obtaining all permits and registrations [with the exception of MCU approvals]; All tenancy utilities and consumables;
- b. Procurement and installation of Point of Sale system/s;
- c. Procurement and installation of operational items;
- d. Procurement and installation of fit out and furniture, as required;
- e. All tenancy cleaning;
- f. Maintaining minimum operating hours throughout the term of the lease. Hours of operation will be determined in negotiation with Council;
- g. Contribution to the cost of regular cleaning of common areas including toilets and toilet supplies;
- h. A proportion of certain services in the premises;
- i. Cost of tenancy signage as agreed by Council; and
- j. A director's guarantee and bank guarantee equivalent to three [3] months rental, to be held against satisfactory compliance with lease terms over the full term of the lease.

2. Site Overview

2.1 Station Building

Constructed in 1909 the Station building is a long gable-roofed chamfer board building with a corrugated galvanised iron roof and square 'fascia' gutters. On the street side of the building is a large eave overhang supported on timber posts by solid timber brackets, on the platform side there is a curved awning roof supported on timber posts with plain struts and concrete bases. The building is set on concrete stumps at the perimeter and steel posts and concrete footings under the main body of the building. The building consists timber VJ internal lining, timber floors, panelled doors and flush sliding door, and 4-panel colonial sash windows. A section on the eastern end is enclosed with battens to form a storage area.

Refer Appendix A - Station post-construction close out report.

Refer Appendix B - ArkLab Railway Station building plans.

Refer Appendix C - The Station - Images of Building and Surrounds.

2.2 Heritage Listing

Yeppoon Railway Station and platform is heritage listed and any development must comply with [State Development Assessment Provisions State Code 14: Queensland heritage](#). Council has inquired if a front deck could be added to the Station building and Queensland Heritage have indicated this is a possibility, dependent on sympathetic design to the building. At this stage it is impossible to determine if there will sufficient funds to undertake these improvements from the current funding allocation.

2.3 Site Contamination

The site is listed on the Department of Environment and Science Environmental Management Register for the notifiable activity of a Service Station and for hazardous contaminants from the site's previous rail use. Depending on the ultimate use of the site it is intended that Council will remediate the site (as required for successful operation).

2.4 Stormwater and Flooding

Refer Appendix C - Flood overlay map at 1% AEP.

2.6 Arthur Street Car Park

There are concept plans [see right] to formalise the Arthur Street carparking area. Council understands that these plans may need to be adapted and development of the car park brought forward to incorporate higher density development and increased foot traffic from the Station site and surrounding areas.

Council considers the construction of the Arthur Street carpark as integral to the success of the overall development. Proposals that incorporate the design and construction of the carpark will therefore be weighted accordingly.



3. Proposal Evaluation

3.1 Evaluation Criteria

In assessing each proposal, Council will use the following evaluation criteria [not listed in any order of importance]:

1. The respondent's ability to meet Council's objectives;
2. The respondent's ability to demonstrate previous industry experience;
3. The respondent's preferred tenancy and/or land use;
4. A single tender that is inclusive of the development of both precincts and achieves the desired outcomes and vision for both will be looked upon favourably;
5. The respondent's inclusion of an option to design and construct the Arthur Street carpark, [understanding these costs may be offset from the purchase price of the Eastern precinct].
6. The respondent's tenancy/development forecast economic contribution;
7. The respondent's preferred development timeframes; and
8. The respondent's proposed financial return to Council.

Council reserves the right to assess the merits of each proposal by considering any matter, fact or circumstance which Council may deem appropriate, in its absolute discretion. Council will not be bound to engage any respondent or review any proposal that does not conform within the requirements set out in this document.

Responses to this Invitation to Tender must include an electronic copy of the following:

- a. A completed, signed and dated Response to Tender form [Annexure B];
- b. The respondents proposed offering and associated specifics; and
- c. Any other supporting document that the respondent feels is relevant to the Tender.
- d. All proposals must be clearly marked 'The Station Precinct' and emailed to Neale.Crow@au.knightfrank.com by 5pm, Monday 3 October 2022.

**ANNEXURE B - Response to Tender
The Station Precinct**

APPLICANT INFORMATION AND CURRENT OPERATION

1. Applicant Details

Company name or full names of individuals:

Trading as:

ACN [if applicable]:

ABN [if applicable]:

Contact Details:

Name:

Phone Number:

Business Street Address:

Postal Address:

Email:

Website [if applicable]:

Tender for: Western Portion Eastern Portion Both

2. Western Community/Entertainment Precinct Proposal

[a] What business activity[s] is proposed to be carried out in the Western Community/Entertainment Precinct and in the Station railway building?

[b] Are other site improvements/buildings proposed to support the development?

[c] What type of centre management model is proposed [if any]?

[d] Please stipulate a proposed lease fee for lease of the western precinct [approximate size 4100m²] or components of the western precinct, for example the Station building including GST/excluding GST?

3. Eastern Mixed Use/High Density Residential Precinct Proposal

[a] What type development is proposed for the Eastern Mixed Use/High Density Residential Precinct?

[b] Please stipulate your best and final offer you would be prepared to pay if the successful purchaser of the eastern precinct [approximate size 4100m²] including GST/excluding GST?

[c] Are there any other terms/conditions you would like considered as part of the purchase arrangements?

4. Council Assistance

What, if any, assistance will be required from Council?

5. History and Track Record

Provide a brief business background [e.g. dates, places, product descriptions etc]

6. Additional Information

Do you have any additional information that would assist your application?

7. Economic Contribution (please fill in all that might be applicable)

Expect to employ a total of _____ employees within _____ years

Do any of these include apprenticeships/trainees? Yes No If yes, how many annually?

Is your business an existing local business? If yes, provide details.

Construction costs estimated at _____ for development of _____

Please detail any other economic benefits?

What is the proposed development timeframe?

8. If applicable include a Site Plan as attachment in EOI (sketch only)

Enclose a site plan indicating the layout and dimensions of the proposed improvements and timings of each stage.

9. Financial/in-kind contribution

If known, provide any type of anticipated financial/in-kind contribution to the project being proposed.

Acknowledgement and Declaration

I/we acknowledge that by submitting this proposal, I/we accept and acknowledge that I/we are bound by the terms and conditions stated in the Request for Expression of Interest. I/we declare that I/we have no direct or indirect conflict of interest in participating in the development outlined in the Request for Expression of Interest.

Signature of Authorised Person:

Date:

Print Full Name:

Position:

11. Submission

Submit your submission via email to Neale.Crow@au.knightfrank.com



Version 1 - August 2022

APPENDIX A Station Post-Construction Close Out Report

	201812 / MEMO 05
YEPPOON RAILWAY STATION	JAMES ST, YEPPOON
DATE: 17.09.2020	
TO: Genaea Keith EDQ	
CC: File	
RE: CLOSE OUT REPORT – POST CONSTRUCTION	

The following report has been prepared to describe the completed restoration works for Yeppoon Station Building documented by arkLAB Architecture and carried out by Landbrook Building and Construction. This report captures the restorations works done to date and presents an informative reference document for future works on this listed Heritage Place of Significance. This document is a summary of the completed works only: for a full description and details refer to drawings, specifications, reports and approvals listed in the appendix.

1.0 Site

Yeppoon Station Building is located within the CBD of the town, approximately 1km from the ocean front and bounded by James and Braithwaite streets as well as countless commercial buildings. The building is centrally located on the 2.4 hectare site, oriented with the station platform to the north and the offices, parcels and amenities housed in the main body of the long skinny building to the south (fronting James street).

Property Description: Lot 3, SP254313

Address: James Street Yeppoon, QLD, 4703

Local Governing Agency: Livingstone Shire Council

Status Queensland Heritage Register: ID 602563

2.0 Building Description

Constructed: 1909

Style/ Type: A long gable-roofed chamfer board building with a corrugated galvanised iron roof, square 'fascia' gutters. On the street side of the building is a large eave overhang supported on timber posts by solid timber brackets, on the platform side there is a curved awning roof supported on timber posts with plain struts and concrete bases. The building is set on concrete stumps at the perimeter and steel posts and concrete footings under the main body of the building. The building consists timber VJ internal lining, timber floors, panelled doors and flush sliding door, and 4-panel colonial sash windows. A section on the eastern end is enclosed with battens to form a storage area for a forklift.

Environment: Free standing building on large vacant parcel of land.

Orientation: North east, as indicated on plans.

3.0 Restoration Works

Landbrook Building and Construction was appointed the principal contractor by the Department of State Development, Tourism and Innovation. Construction commenced in January 2020 and reached Practical Completion in September 2020.

3.1 Restoration of Building Foundations:

Original Condition:

The buildings' concrete and steel foundations were compromised with damaged concrete footings, severely corroded steel posts and brackets, and deformed timber bearers and joists due to failure of the foundation structure.

Restoration:

- Removal of damaged and deteriorated concrete footings, steel posts and brackets
- Replaced steel posts and footings including connections to bearer
- Repaired concrete footings with high strength mortar where reinforcing has been exposed, break out to unaffected reinforcing and treat or replace.
- All works carried out in accordance with engineers details and relevant approvals.

3.2 Restoration of Roofing and Walling:

Original Condition:

Roofing including all rain water goods were compromised and failing. Roof sheeting, flashings and cappings were partially missing and exhibited severe rust and disintegrating paint, with some areas beyond repair. The wall structure, main roof and platform awning structures were deemed inadequate by Dileigh and requires upgrade to meet current Australian Standard.

Type: Pitched Roof / Curved Awning

Pitch/ Grade: 33.5° / Radius 3.42m (C.O.S)

Area: 182sqm / 147sqm (C.O.S)

Perimeter: 83.5 linear metres (C.O.S)

Material: Metal

Profile: Corrugated Iron.

Restoration:

- Removal of existing roof coverings including gutters (eaves and box gutter), flashing, downpipes and all associated rain water goods.
- Removal of damaged timber fascia boards, box gutter and sub structure. Intact portions of fascia boards were retained and reinstated in accordance with DES Heritage Exemption Certificate.
- New roof sheeting and rainwater goods were installed in accordance with DES Heritage Exemption Certificate, including installation of thermal insulation to underside of roof (above the building only).
- Additional structures for both main roof and platform awning were put in place in accordance with Deleigh's structural drawings and specifications. All new elements have been date stamped.
- Additional wall structure were put in place in accordance with Deleigh's structural drawings and specifications. All new elements have been date stamped.

3.3 New storm water reticulation

Original Condition:

Existing rainwater goods discharge illegally to the ground. Historical photos indicated the roof drainage at the eastern end of the building discharged into a water tank. The water tank was removed and the tank stand is in disrepair and structurally inadequate to support a filled water tank. The box gutter outlet at the eastern end of the building was rusted and the outlet disconnected.

Restoration:

- Downpipes disconnected at eastern end of building.
- Existing hydraulic infrastructure disconnected and services capped off.
- Rainwater tank stand removed.
- Downpipes reconnected to comply with AS3500.3 plumbing & drainage requirements.

- Downpipe discharge outlet reticulated under floor to existing storm water discharge point in accordance with engineer's details.

3.4 Restoration of platform timber posts and footings

Original Condition:

The concrete footing/ timber post junctions were failing and disintegrated from the timber posts. Timber posts were exposed exhibits rot and was a potential structural failure.

Restoration:

- Damaged timbers posts partially removed and reconnected in accordance to architectural and structural drawings.
- New concrete footings installed in accordance with structural drawings.

3.5 Restoration of timber wall cladding

Original Condition

Timber wall cladding was compromised in numerous locations due to vandalism, weather and general decay over time, causing water ingress issues to the building envelope.

Restoration:

- Damaged portions of the cladding removed.
- Water proofing breaches rectified.
- New timber siding installed to match existing size and profile and painted to match existing. All new elements have been date stamped.

3.6 Restoration of metal cladding to awning structure

Original Condition:

The vertical metal cladding to the awning was compromised in numerous locations due to weather and suffered from deteriorating paint.

Restoration:

- Compromised portions of the metal cladding was rectified in accordance with technical notes; Minor Repairs — Metal Work.
- The metal cladding was repainted in accordance with technical notes; Painting — Surface Preparation and Painting — Maintenance.

3.7 Restoration of rammed earth platform edge and retaining wall

Original Condition:

The timber edge capping of the platform suffered from deterioration and rot in numerous locations which risked the collapse of the rammed earth platforms. Concrete and timber walers along the platforms were also in poor deteriorated state.

Restoration:

- Damaged and deteriorated timber edge capping removed.
- Timber edge capping replaced Like-For-Like, painted and date stamped.
- Damaged beyond repair concrete walers replaced Like-For-Like and date stamped.
- Damaged beyond repair timber walers replaced Like-For-Like and date stamped.
- Rammed earth platform resintated in collapsed areas, additional gravel was put in place as required.

3.8 Painting of Internal and External walls

Original Condition:

External paint works were in poor condition with excessive deterioration in numerous areas. Internal paint works were in good condition. Graffiti vandalism were scattered throughout internal and external walls of the building and platform.

Restoration:

- Externally the building was repainted with approved new colour scheme in accordance with DES Heritage Exemption Certificate. Original paintworks were not removed and remains intact beneath the new paint.
- Internally the building was repainted with existing Like-For-Like colours in accordance with DES Heritage Exemption Certificate. Original paintworks were not removed and remains intact beneath the new paint.
- All graffiti were removed in accordance with heritage technical note 'painting – surface preparation' and 'Painting – maintenance'.

3.9 Restoration of windows and doors**Original Condition:**

Timber framed windows and doors were in various states of disrepair due to aging and vandalism which compromised the weatherproofing of the building. Numerous windows were covered with plywood boarding with evidence of water ingress.

Restoration:

- Plywood boardings removed.
- All windows and doors were restored and refurbished in accordance with approved DES Heritage Exemption Certificate.
- Windows Ex4, Ex5 and Ex6 were replaced in accordance with approved DES Heritage Exemption Certificate.

3.10 Restoration of Joinery Units**Original Condition:**

The joinery units were in good condition.

Restoration:

- ExJU2 was removed as it was deemed an Intrusive Element in accordance with the Fabric Assessment Report.
- ExJU1, ExJU3, ExJU4, ExJU5 and ExJU6 were restored in accordance with approved DES Heritage Exemption Certificate.

3.11 Restoration of timber flooring**Original Condition:**

Exposed timber flooring in the Parcels room appeared to be uncoated shot-edge hardwood in sound original condition. The timber flooring within the Ticket & Freight & Waiting and Passage rooms were covered with vinyl flooring which was partially removed to uncover the timber flooring below for condition assessment. They appeared to be in sound condition similar to the Parcels room flooring.

Restoration:

- All existing vinyl covering were removed.
- Timber flooring restored in accordance with approved DES Heritage Exemption Certificate.

4.0 Appendicies

Please refer to the following documents for further details:

- Exemption Certificate **201809-7189 EC - 602563_ExemptionCertificate - ConservationWorks+**
- ~~Exemption Certificate **201911-9689 EC - ExemptionCertificate - BuildingRepairs**~~
- Exemption Certificate **202001-9973 EC_602563 Yeppoon Station Building_Remedial Painting_exemption certificate**
- Exemption Certificate **202003 10095_EC_QHR602563_Yeppoon_Station_Building_delete approval** (Supersedes 201911-9689 EC above)
- Exemption Certificate **202006-10443 EC QHD602563 Yeppoon Station Building_exemption_certificate**
- Exemption Certificate **202008-10536 EC QHR602563 Yeppoon Station Building_exemption_certificate**
- Architectural Drawings **201812_Yeppoon Station Building_E**
- Architectural Specificaiton **201812_DSD_YEP Spec_T01**
- Engineers report **D19106-RP01(E) Condition Assessment Report.pdf**
- Conservation Management Plan **180731_201812_DSD_YEP_CMP Issue D**

YEPPOON STATION BUILDING

for DEPARTMENT OF STATE DEVELOPMENT

3 JAMES STREET 4703 QLD

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REV.	DETAILS	INT	DATE
E	Close Out Report Issue	JW	16.09.2020
T01	FOR TENDER	LB	25.10.2019



Location Plan



3D VIEW (PLATFORM)

DRAWING LIST		
DRAWING NAME	REVISION	
0001	TITLE PAGE	E
1001	PROPOSED SITE PLAN	E
2001	SUBFLOOR & GROUND FLOOR - PROPOSED RESTORATION	E
2002	RCP & ROOF PLAN - PROPOSED RESTORATION	E
3001	ELEVATIONS	E
3002	ELEVATIONS	E
4000	FABRIC ASSESSMENT: SIGNIFICANT ELEMENTS REFERENCE PLAN	E
5001	DETAILS	E
6001	DOOR & WINDOW SCHEDULE	E
10000	SPECIFICATIONS	T01
10001	DOCUMENT REGISTER	C

- GENERAL NOTES**
1. Confirm details of setbacks, levels, setbacks and critical dimensions on site prior to and during the works. Notify architect of any discrepancies discovered before proceeding.
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arkLAB

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client
DEPARTMENT OF STATE DEVELOPMENT

project
YEPPOON STATION BUILDING
3 JAMES STREET 4703 QLD

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

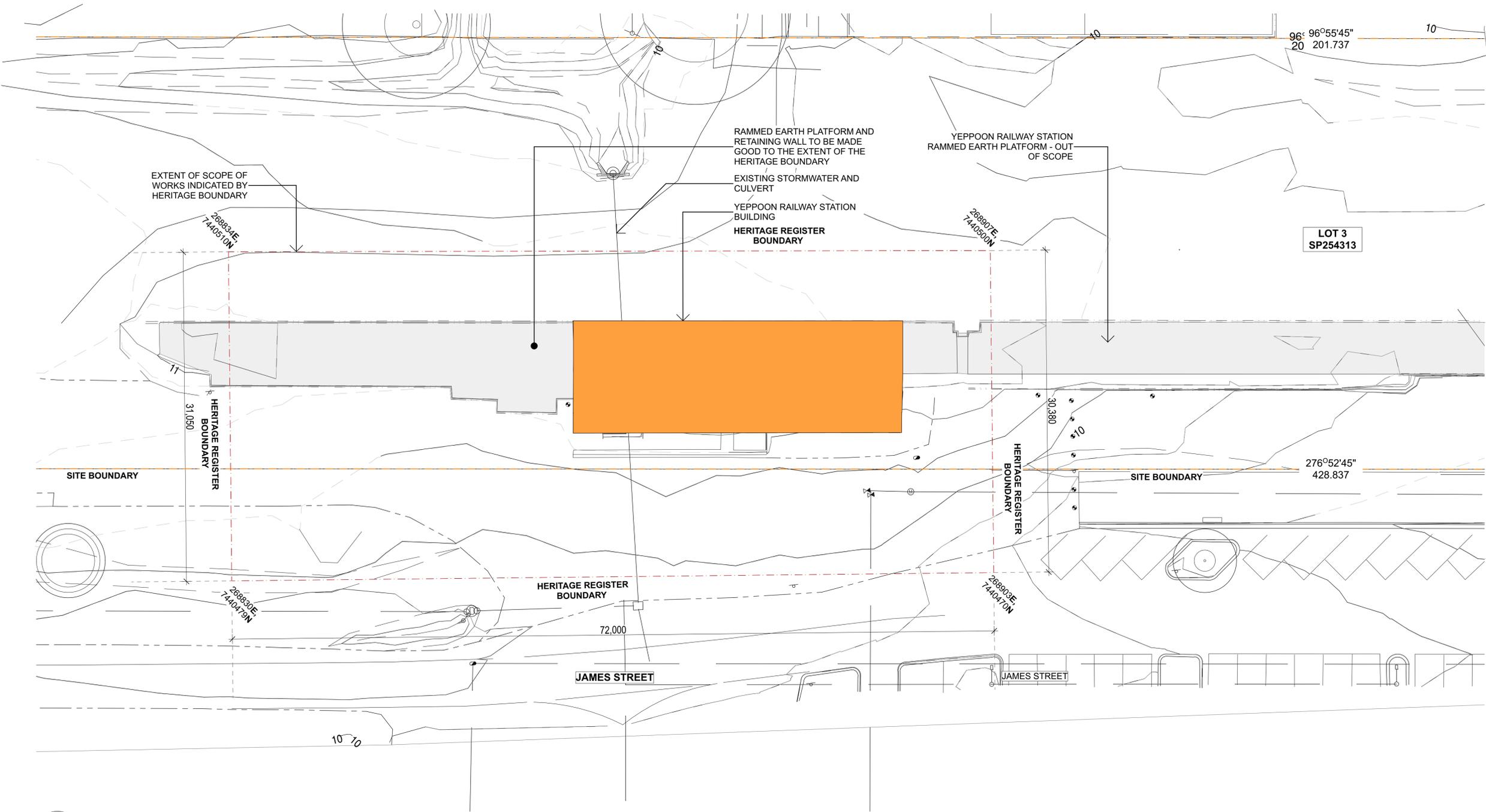
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REV.	DETAILS	INT	DATE
E	Close Out Report Issue	JW	16.09.2020
D	Heritage Feedback Revision- Internal Works	JW	25.06.2020
C	Heritage Exemption Review - Internal Works	RE	22.05.2020
T01	FOR TENDER	LB	25.10.2019

SITE INFORMATION
 Real Property Description: LOT 3, SP254313



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project
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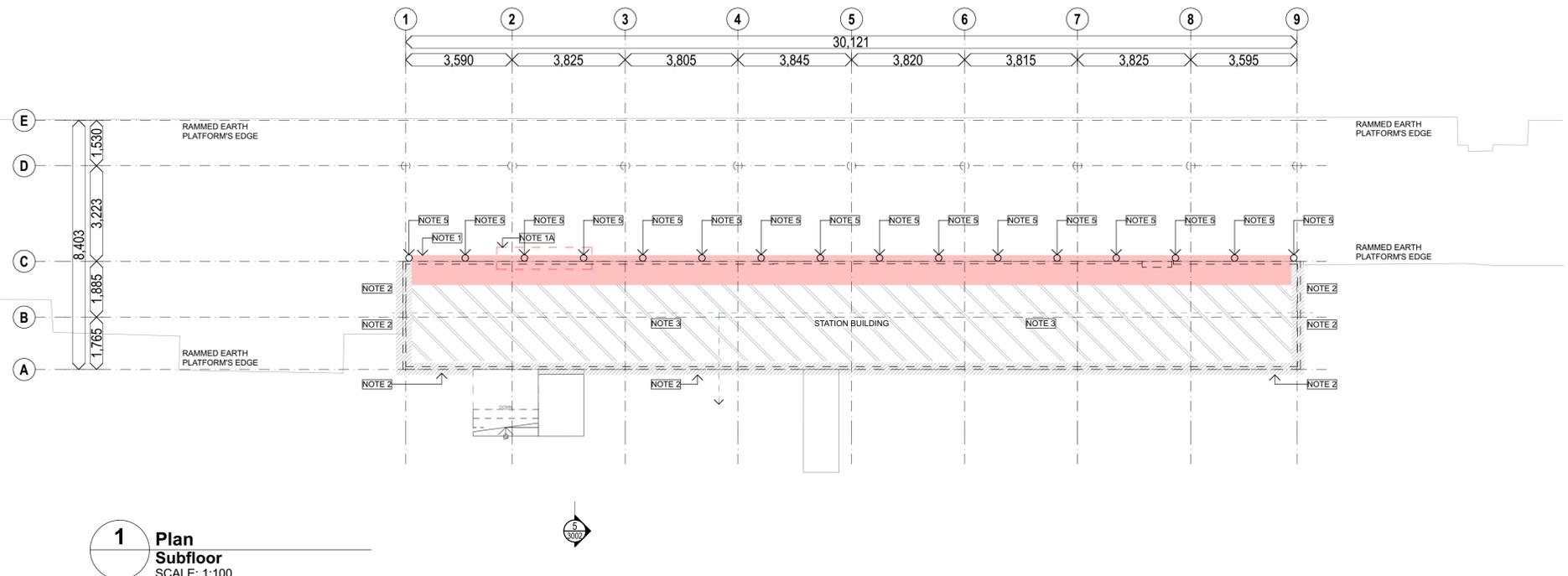
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project number 201812 drawn by SA checked by AJ
 drawing name PROPOSED SITE PLAN

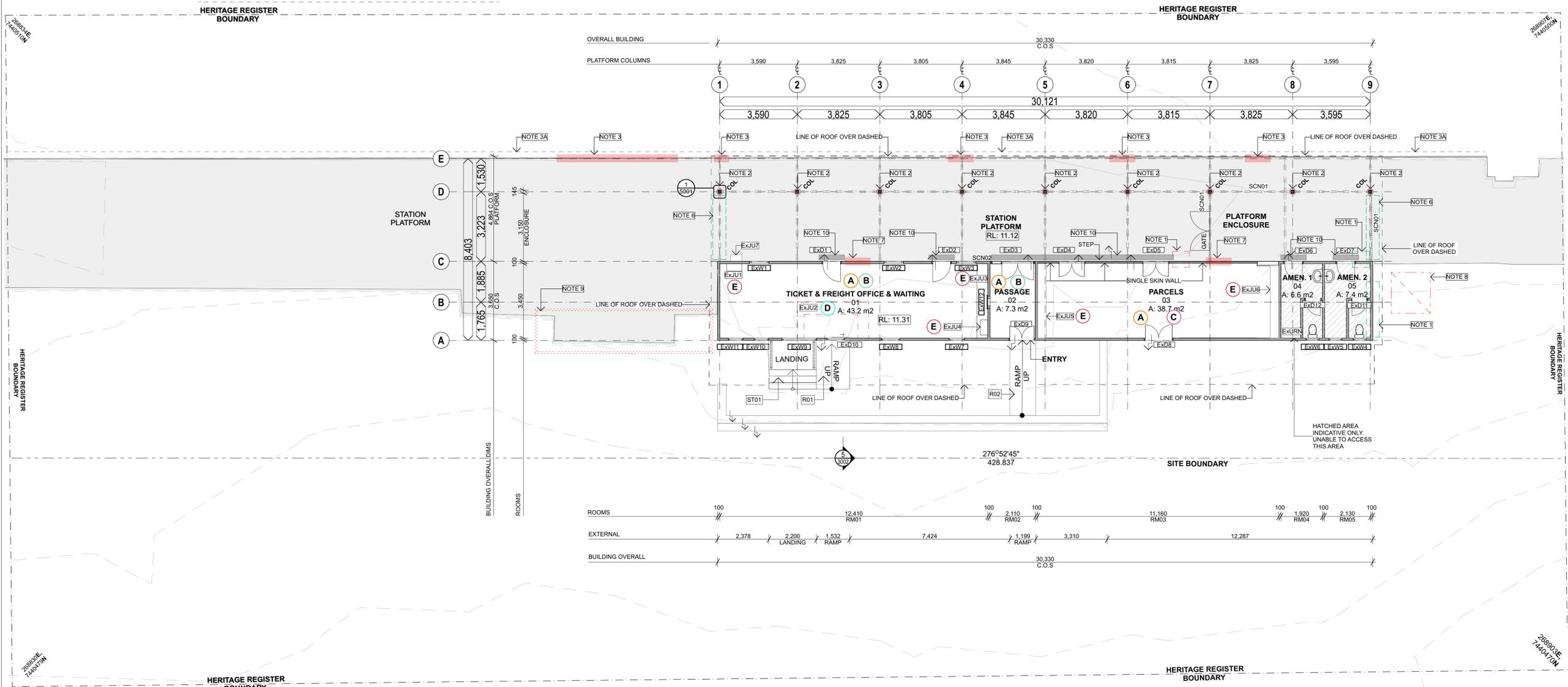
drawing number 1001 scale AS INDICATED @A1 rev E

1 Plan
Proposed Site
 SCALE: 1:200

GROUND FL NOTES	SUBFLOOR NOTES
<p>DEMOLITION AND RESTORATION NOTES:</p> <p>NOTE 1: ROTTING TIMBER CLADDING AT LINE OF BUILDING REPLACE LIKE-FOR-LIKE. ENSURE WEATHERBOARDS ARE SUFFICIENTLY TOOTHED IN TO PROVIDE ADEQUATE RESTRAINT. ANCILLARY STUDS OR BATTENS MAY BE INTRODUCED IF REQUIRED WHERE WALL IS NOT SINGLE SKIN IN ACCORDANCE WITH DES APPROVAL.</p> <p>NOTE 1A: REINSTATE EDGE STRIP AT LINE OF BUILDING.</p> <p>NOTE 2: TEMPORARILY PROP + SUPPORT AWNING. ROOF DEMOLISH EFFECTED DAMAGED / DEGRADED CONCRETE FOOTINGS. REMOVE TO THE EXTENT NECESSARY. ROTTEN TIMBER POSTS. PREPARE FOR NEW CONSTRUCTION. IMPLEMENT DETAIL D.01. REFER TO ENGINEER DRAWINGS FOR DETAILS.</p> <p>NOTE 3: IDENTIFY EXTENT OF ROTTEN TIMBER CAPPING TO PLATFORM EDGE + CAREFULLY DEMOLISH. REPLACE WITH LIKE FOR LIKE TO EXTENT OF HERITAGE BOUNDARY.</p> <p>NOTE 3A: IDENTIFY EXTENT OF DAMAGED CONCRETE WALLS TO PLATFORM RETAINING WALL. REPAIR / REPLACE IN ACCORDANCE WITH ENGINEERS DRAWINGS.</p> <p>NOTE 4: WINDOWS: REPLACE BROKEN GLASS AND ASSESS EXTENT OF DAMAGE TO FRAME. REPLACE WHERE NECESSARY. REFER SPECIFICATION FOR DETAILS. REFER ELEVATIONS.</p> <p>WINDOW REPAIR SUBJECT TO FUNDING.</p> <p>NOTE 5: REPLACE AND REPAIR DAMAGED DOORS. REFER SPECIFICATION FOR DETAILS. REFER ELEVATIONS.</p> <p>DOOR REPAIR SUBJECT TO FUNDING.</p> <p>NOTE 6: REPAIR OR REPLACE METAL WALL CLADDING WHERE NECESSARY WITH LIKE FOR LIKE. REFER TO SPECIFICATION FOR DETAILS. PAINT TO MATCH EXISTING.</p> <p>NOTE 7: EDGE STRIP MISSING OR ROTTING.</p> <p>NOTE 8: EXISTING WATER TANK STAND TO BE DEMOLISHED. RAIN WATER TO BE RETICULATED UNDER FLOOR TO DISCHARGE AT EXISTING STORMWATER POINT UNDER BUILDING REFER ENGINEERS DRAWINGS FOR DETAIL - CONTRACTOR TO CERTIFY WORKS.</p> <p>NOTE 9: EXISTING EXTERNAL BLOCK WALL - OUT OF SCOPE.</p> <p>NOTE 10: REINSTATE EXIST TIMBER TREAD IN ACCORDANCE WITH HERITAGE EXEMPTION APPROVAL QH602563 PERMIT NO: 202003-10095 EC.</p>	<p>DEMOLITION AND RESTORATION NOTES:</p> <p>NOTE 1: REPAIR / REPLACE TIMBER WALERS TO RETAINING WALL AT LINE OF BUILDING IN ACCORDANCE WITH S.E. DETAILS AND DES REQUIREMENTS AS REQUIRED LIKE-FOR-LIKE REPLACEMENT.</p> <p>NOTE 1A: REINSTATE EDGE STRIP AT LINE OF BUILDING.</p> <p>NOTE 2: REPAIR CONCRETE STUMPS. REMOVE METAL BRACKET AND CLEAN/REPAIR IN ACCORDANCE WITH ENGINEERS DETAIL. REINSTATE. REPAIR/REPLACE ANT CAPS AS REQUIRED.</p> <p>NOTE 3: REPAIR CONCRETE FOOTINGS AND STEEL POSTS IN ACCORDANCE WITH S.E. DETAILS.</p> <p>NOTE 4: NEW RAINWATER DISCHARGE. REFER ENG. DETAIL. CONTRACTOR TO GAIN ALL APPROVALS TO ENSURE COMPLIANCE WITH LOCAL COUNCIL.</p> <p>NOTE 5: REPLACE EXISTING STUMPS IN ACCORDANCE WITH HERITAGE EXEMPTION APPROVAL QH602563 PERMIT NO: 202003-10095 EC.</p> <p>INTERNAL DEMOLITION AND RESTORATION NOTES:</p> <p>TO BE READ IN CONJUNCTION WITH FABRIC ASSESSMENT REPORT AND SCOPING DOCUMENT</p> <p>A NEW INTERNAL PAINT COLOURS TO ALL EXISTING PAINTED SURFACES TO MATCH ORIGINAL.</p> <p>B CAREFULLY REMOVE VINYL FLOORING AND HARDBOARD SUBSTRATE. PUNCH EXTRUDED NAILHEADS TO 2MM BELOW SURFACE AND SAND. EXISTING HARDWOOD FLOORING TO REMAIN UNCOATED AS ORIGINAL CONDITION.</p> <p>C PUNCH EXTRUDED NAILHEADS TO 2MM BELOW SURFACE AND SAND. EXISTING HARDWOOD FLOORING TO REMAIN UNCOATED AS ORIGINAL CONDITION.</p> <p>D DEMOLISH EXISTING JOINERY UNIT. MAKE GOOD SURFACES AS REQUIRED.</p> <p>E MAKE GOOD EXISTING JOINERY UNITS. IDENTIFY DAMAGE TO UNITS AND REPAIR WHERE REQUIRED.</p>



1 Plan Subfloor
SCALE: 1:100



2 Plan Ground Floor
SCALE: 1:100

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REV.	DETAILS	INT	DATE
E	Close Out Report Issue	JW	16.09.2020
D	Heritage Feedback Revision - Internal Works	JW	25.08.2020
C	Heritage Exemption Review - Internal Works	RE	22.05.2020

- GENERAL NOTES:**
- ANY FILL DISTURBED / REMOVED WHEN REPAIRING PLATFORM RETAINING WALL TO BE RETAINED FOR RE-USE.
 - UPON COMPLETION OF WORKS RE-COMPACT FILL TO EXTENT DISTURBED.
 - ALLOW ALL COSTS FOR ADDITIONAL GRAVEL TO 'MAKE GOOD' PLATFORM FINISH.
 - CONTRACTOR TO ENGAGE SURVEYOR - SET OUT HERITAGE BOUNDARY. PROTECT SITE TO EXTENT OF BOUNDARY.
 - CONTRACTOR TO DISCHARGE ALL NEW DP'S TO EXISTING STORMWATER UNDER THE BUILDING. RETICULATE UNDER FLOOR. CONTRACTOR TO GAIN PLUMBING APPROVALS AS REQUIRED AND CERTIFY ALL WORKS.
 - CONTRACTOR TO FLASH ALL NEW / REINSTATED ROOF PENETRATIONS.

LEGEND

BG	BOX GUTTER
COL	COLUMN
D#	DOOR NUMBER
EG	EAVES GUTTER
EX	EXISTING
JU##	JOINERY UNIT NUMBER
RM	ROOM
W#	WINDOW NUMBER

- GENERAL NOTES**
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 5. Do not scale from this drawing - use figured dimensions. Dimensions taken from structure (face of block work/stud) unless otherwise noted.

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client
DEPARTMENT OF STATE DEVELOPMENT

project
YEPPON STATION BUILDING
3 JAMES STREET 4703 QLD

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	201812	drawn by	AJ	checked	
drawing name	SUBFLOOR & GROUND FLOOR - PROPOSED RESTORATION	scale	AS INDICATED @A1	rev	E

RCP NOTES

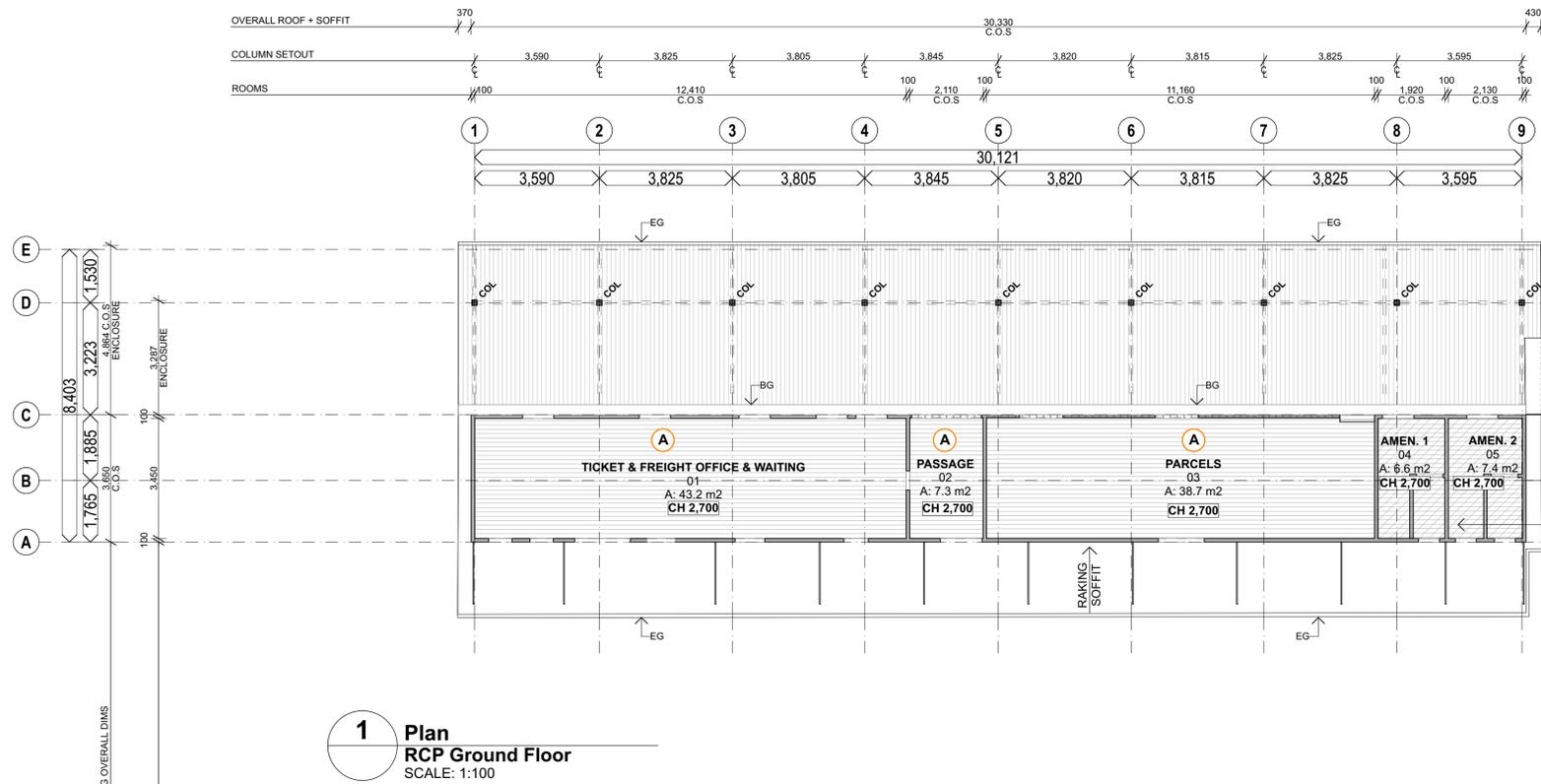
INTERNAL DEMOLITION AND RESTORATION NOTES:
TO BE READ IN CONJUNCTION WITH FABRIC ASSESSMENT REPORT AND SCOPING DOCUMENT

- (A)** NEW INTERNAL PAINT COLOURS TO ALL EXISTING PAINTED SURFACES TO MATCH ORIGINAL.
- (B)** CAREFULLY REMOVE VINYL FLOORING AND HARDBOARD SUBSTRATE. PUNCH EXTRUDED NAILHEADS TO 2MM BELOW SURFACE AND SAND. EXISTING HARDWOOD FLOORING TO REMAIN UNCOATED AS ORIGINAL CONDITION.
- (C)** PUNCH EXTRUDED NAILHEADS TO 2MM BELOW SURFACE AND SAND. EXISTING HARDWOOD FLOORING TO REMAIN UNCOATED AS ORIGINAL CONDITION.
- (D)** DEMOLISH EXISTING JOINERY UNIT. MAKE GOOD SURFACES AS REQUIRED.
- (E)** MAKE GOOD EXISTING JOINERY UNITS. IDENTIFY DAMAGE TO UNITS AND REPAIR WHERE REQUIRED.

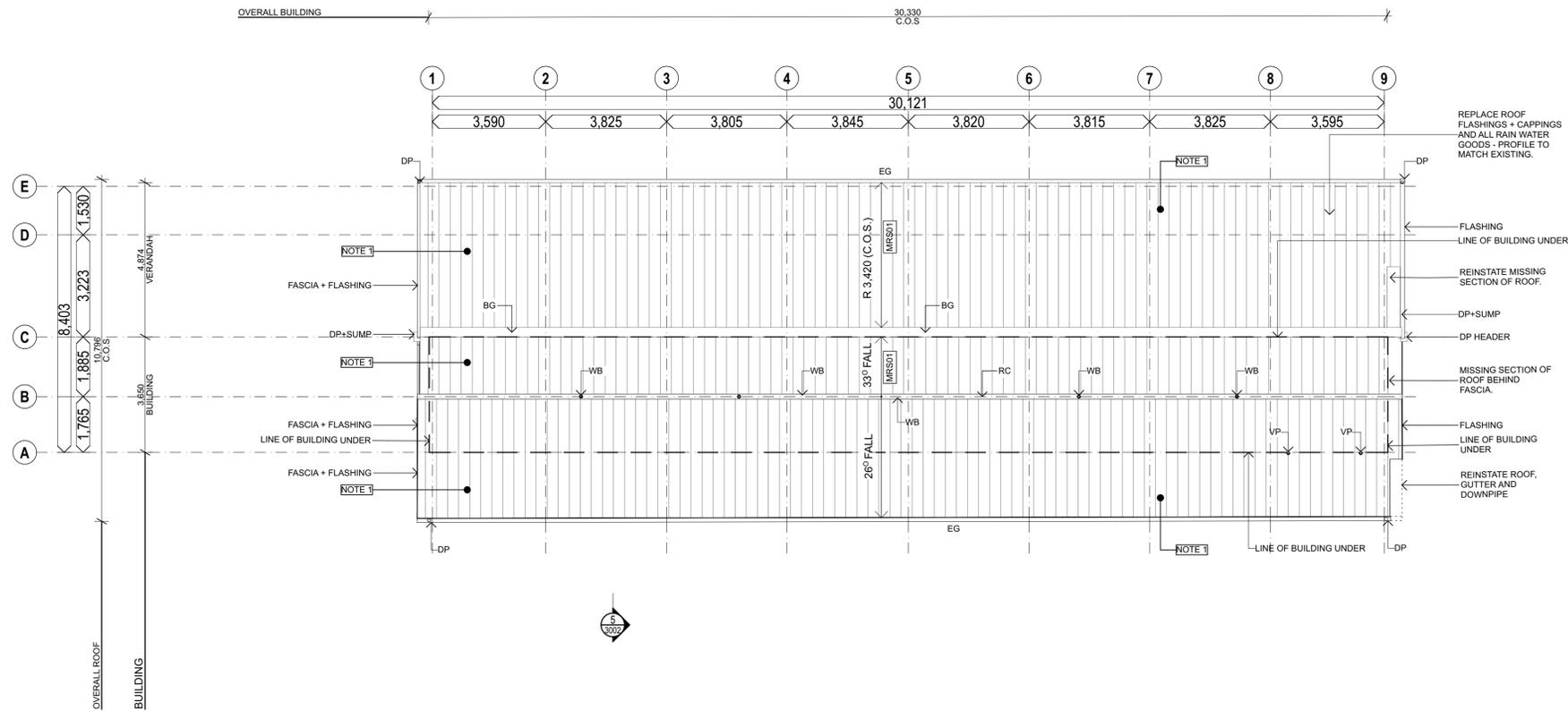
ROOF NOTES

DEMOLITION AND RESTORATION NOTES:

- NOTE 1:** REMOVE EXISTING ROOF SHEETING AND REPLACE WITH NEW STEEL ROOF SHEETING AS SCHEDULED. REFER TO ENGINEERING REPORT FOR DETAILS OF STRUCTURAL ADEQUACY OF ROOF TRUSSES. PROVIDE NEW ROOF STRUCTURE AS REQUIRED IN ACCORDANCE WITH ENGINEERS DETAILS AND EXEMPTION CERTIFICATES. REPLACE ROOF (ETC.) WITH LIKE FOR LIKE COMPONENTS. REFER SCHEDULES AND SPECIFICATION FOR FURTHER DETAILS. NEW FASCIA TO MATCH EXISTING SIZE, COLOUR AND PROFILE. CONTRACTOR TO INSPECT EXISTING ROOF VENTS & RESTORE OR REPLACE WITH LIKE FOR LIKE AS REQUIRED.
- NOTE 2:** UNDERSIDE OF NEW ROOF SHEETING.
- NOTE 3A:** EXISTING CEILING TO BE RETAINED.
- NOTE 2:** EXISTING TRUSS TO BE REINFORCED IN ACCORDANCE WITH ENGINEERS DETAIL. ALL NEW MEMBERS TO BE DATE STAMPED IN ACCORDANCE WITH DES CONDITIONS.
- NOTE 2A:** AWNING ROOF - POST STRUT. TO TRUSS TOP CHORD CONNECTION LOOSE. REINSTATE IN ACCORDANCE WITH ENGINEERS DETAIL.
- NOTE:** REPAIR / REPLACE DETERIORATED AND DISLODGED BATTENS. ADD NEW BATTENS AS REQUIRED. REFER ENGINEERS DRAWINGS FOR DETAILS. REFER TO SECTION FOR DETAILS
- NOTE:** UPGRADE BATTENS AND RAFTER TIE DOWN AS REQUIRED. REFER ENGINEERS DRAWINGS FOR DETAILS. REFER TO SECTION FOR DETAILS



1 Plan RCP Ground Floor SCALE: 1:100



2 Plan Roof Plan SCALE: 1:100

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REV.	DETAILS	INT	DATE
E	Close Out Report Issue	JW	16.09.2020
D	Heritage Feedback Revision- Internal Works	JW	25.06.2020
C	Heritage Exemption Review - Internal Works	RE	22.05.2020

- GENERAL NOTES:**
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LEGEND

BG	BOX GUTTER
COL	COLUMN
D#	DOOR NUMBER
EG	EAVES GUTTER
EX	EXISTING
JU##	JOINERY UNIT NUMBER
R#	ROOM
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project number	drawn by	checked
201812	SA	AJ
drawing name		N
RCP & ROOF PLAN - PROPOSED RESTORATION		
drawing number	scale	rev
2002	AS INDICATED @A1	E

DEMOLITION AND RESTORATION NOTES:

- NOTE 1:** DEMOLISH ROOF SHEETING THAT IS BEYOND REPAIR, ALL GUTTERS, DOWN PIPES, FLASHINGS + CAPPINGS AND ALL ASSOCIATED RAINWATER GOODS IN ACCORDANCE WITH **DES EXEMPTION CERTIFICATE 202003-10095 EC** REFER TO S.E. REPORT FOR DETAILS OF STRUCTURAL ADEQUACY OF ROOF TRUSSES. PROVIDE NEW ROOF STRUCTURE AS REQUIRED IN ACCORDANCE WITH S.E. DETAILS AND EXEMPTION CERTIFICATES. REPLACE ROOF (ETC.) WITH LIKE FOR LIKE COMPONENTS. REFER CONSERVATION MANAGEMENT PLAN FOR FURTHER DETAILS. NEW FASCIA TO MATCH EXISTING COLOURS + PROFILE. REPLACE EXISTING ROOF VENTS IN ACCORDANCE WITH **DES EXEMPTION CERTIFICATE 202003-10095 EC**
- NOTE 2:** TEMPORARILY PROP + SUPPORT AWNING ROOF. DEMOLISH EFFECTED DAMAGED / DEGRADED CONCRETE FOOTINGS. REMOVE TO THE EXTENT NECESSARY ROTTEN TIMBER POSTS. PREPARE FOR NEW CONSTRUCTION. IMPLEMENT DETAIL D.01. REFER TO ENGINEER DRAWINGS FOR DETAILS.
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- NOTE 5:** RESTORE AND REINSTATE STEP TREAD IN ACCORDANCE WITH **DES EXEMPTION CERTIFICATE 202003-10095 EC**
- NOTE 5A:** IDENTIFY EXTENT OF DAMAGED CONCRETE WALERS TO PLATFORM RETAINING WALL, REPAIR / REPLACE IN ACCORDANCE WITH ENGINEERS DRAWINGS.
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- NOTE 8:** REMOVE GRAFFITI FROM EXTERNAL WALLS AND REPAINT TO MATCH EXISTING COLOUR.
- NOTE 9:** AWNING ROOF - POST STRUT TO TRUSS TOP CHORD CONNECTION LOOSE. REINSTATE IN ACCORDANCE WITH ENGINEERS DETAIL.
- NOTE 10:** ADDITIONAL ROOF BATTENS AS REQUIRED TO ENGINEERS DETAIL.
- NOTE 11:** ADDITIONAL MEMBERS TO EXISTING TRUSS TO ENGINEERS DETAIL.
- NOTE 12:** TIE DOWN TRUSSES IN ACCORDANCE WITH ENGINEERS DETAIL.
- NOTE 13:** NEW RAINWATER DISCHARGE, REFER ENG. DETAIL. CONTRACTOR TO GAIN ALL APPROVALS TO ENSURE COMPLIANCE WITH LOCAL COUNCIL.
- NOTE 14:** REPLACE EXIST LOUVRES IN ACCORDANCE WITH **DES EXEMPTION CERTIFICATE 202008-10536 EC**

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REV.	DETAILS	INT	DATE
E	Close Out Report Issue	JW	16.09.2020
T01	FOR TENDER	LB	25.10.2019
B	Heritage Exemption - Update	SA	24.09.18
A	Heritage Exemption	CT	03.08.2018

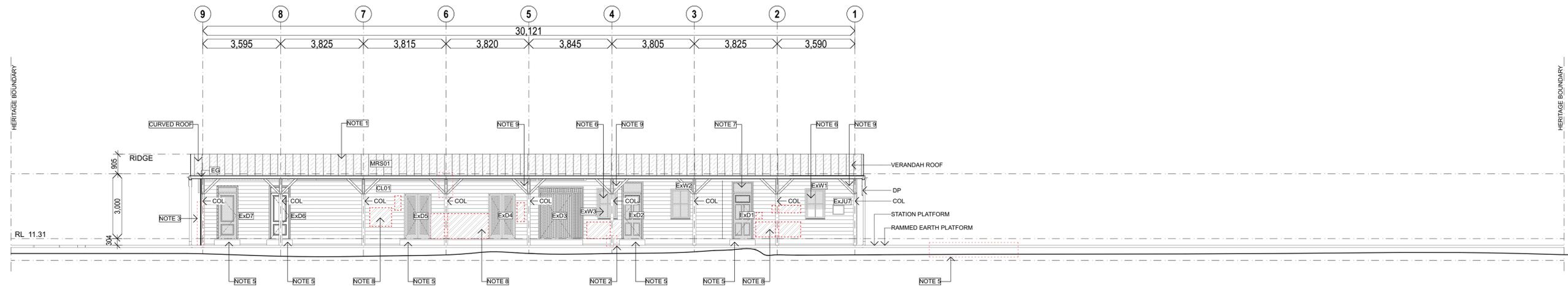
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 - CONTRACTOR TO FLASH ALL NEW / REINSTATED ROOF PENETRATIONS.

CONDITION LEGEND

	GRAFFITI	CAREFULLY REMOVE THEN REPAINT TO MATCH EXISTING COLOUR.
	BOARDED UP OPENING	CAREFULLY REMOVE COVER AND ASSESS CONDITION OF OPENING. REPAIR FRAME, GLASS AND SURROUNDING FABRIC AS REQUIRED. REPAINT TO MATCH EXISTING COLOUR.
	SEVERE TIMBER DAMAGE	CAREFULLY REMOVE AND REPLACE DAMAGED TIMBER. REPAINT TO MATCH EXISTING COLOUR.
	SEVERE PAINT DAMAGE	CAREFULLY REMOVE DAMAGED PAINT AND REPAINT TO MATCH EXISTING COLOUR.

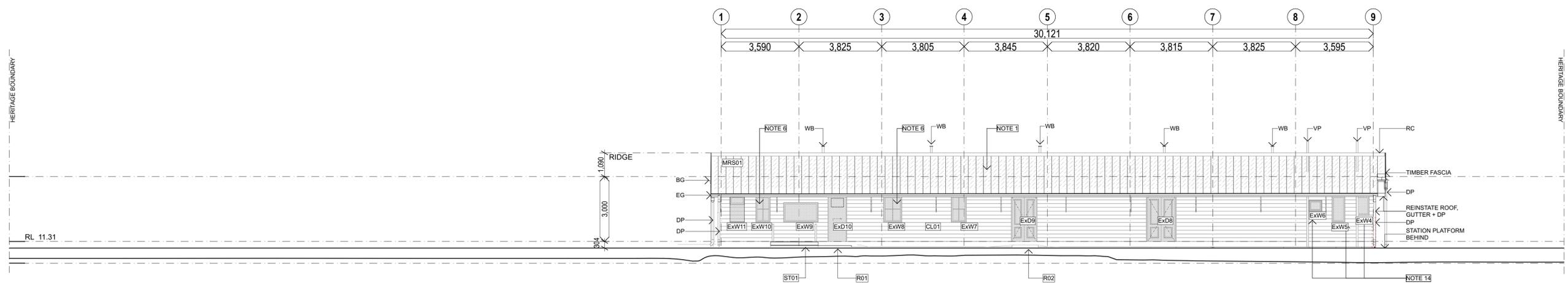
LEGEND

BG	BOX GUTTER
COL	COLUMN
CL##	CLADDING TYPE
D#	DOOR AS SPECIFIED NUMBER
EG	EAVES GUTTER
Ex	EXISTING
FL	FLASHING
JU##	JOINERY UNIT
MRS##	METAL ROOF SHEETING
MWS##	METAL WALL SHEETING
R##	RAMB
RC	RIDGE CAPPING
RM	ROOM
SCN##	SCREEN TYPE
ST##	STAIR
T-S	TIMBER STRUT
VP	VAPOUR PIPE
WB	ROOF VENT
W#	WINDOW AS SPECIFIED NUMBER



1 Elevation North
SCALE: 1:100

- GENERAL NOTES**
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2 Elevation South
SCALE: 1:100

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client
DEPARTMENT OF STATE DEVELOPMENT

project
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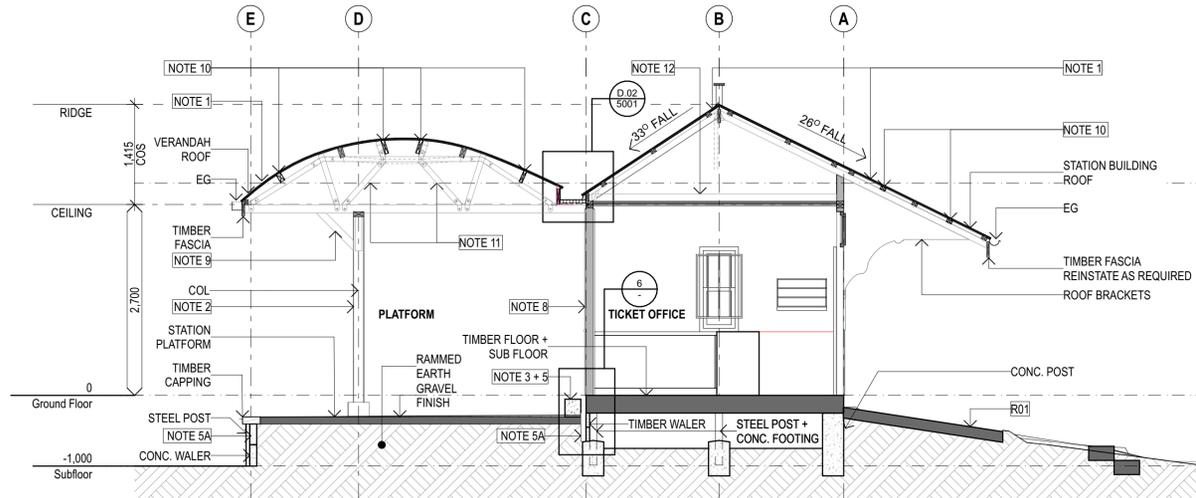
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project number	201812	drawn by	SA	checked	AJ
drawing name	ELEVATIONS				N

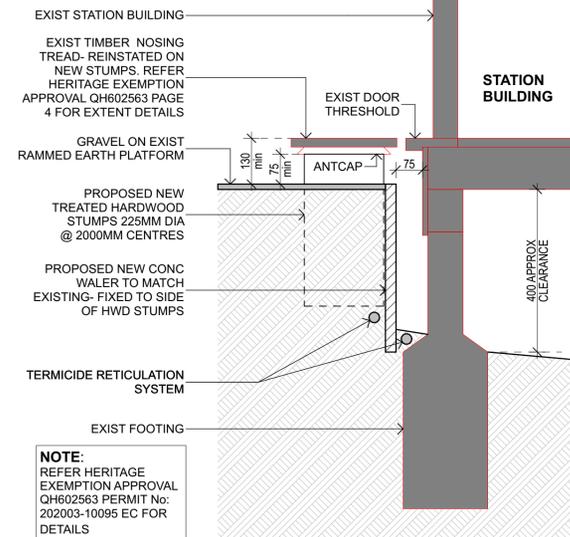
drawing number	3001	scale	AS INDICATED @A1	rev	E
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DEMOLITION AND RESTORATION NOTES:

- NOTE 1:** DEMOLISH ROOF SHEETING THAT IS BEYOND REPAIR. ALL GUTTERS, DOWN PIPES, FLASHINGS + CAPPINGS AND ALL ASSOCIATED RAINWATER GOODS IN ACCORDANCE WITH **DES EXEMPTION CERTIFICATE 202003-10095 EC** REFER TO S.E. REPORT FOR DETAILS OF STRUCTURAL ADEQUACY OF ROOF TRUSSES. PROVIDE NEW ROOF STRUCTURE AS REQUIRED IN ACCORDANCE WITH S.E. DETAILS AND EXEMPTION CERTIFICATES. REPLACE ROOF (ETC.) WITH LIKE FOR LIKE COMPONENTS. REFER CONSERVATION MANAGEMENT PLAN FOR FURTHER DETAILS. NEW FASCIA TO MATCH EXISTING COLOURS + PROFILE. REPLACE EXISTING ROOF VENTS IN ACCORDANCE WITH **DES EXEMPTION CERTIFICATE 202003-10095 EC**
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- NOTE 6:** REPLACE BROKEN GLASS AND ASSESS EXTENT OF DAMAGE TO FRAME. REPLACE WHERE NECESSARY. TO MATCH EXISTING.
- NOTE 7:** REPLACE AND REPAIR DAMAGED DOORS, MATCH TO EXISTING.
- NOTE 8:** REMOVE GRAFFITI FROM EXTERNAL WALLS AND REPAINT TO MATCH EXISTING COLOUR.
- NOTE 9:** AWNING ROOF - POST STRUT TO TRUSS TOP CHORD CONNECTION LOOSE. REINSTATE IN ACCORDANCE WITH ENGINEERS DETAIL.
- NOTE 10:** ADDITIONAL ROOF BATTENS AS REQUIRED TO ENGINEERS DETAIL.
- NOTE 11:** ADDITIONAL MEMBERS TO EXISTING TRUSS TO ENGINEERS DETAIL.
- NOTE 12:** TIE DOWN TRUSSES IN ACCORDANCE WITH ENGINEERS DETAIL.
- NOTE 13:** NEW RAINWATER DISCHARGE, REFER ENG. DETAIL. CONTRACTOR TO GAIN ALL APPROVALS TO ENSURE COMPLIANCE WITH LOCAL COUNCIL.
- NOTE 14:** REPLACE EXIST LOUVRES IN ACCORDANCE WITH **DES EXEMPTION CERTIFICATE 202008-10536 EC**



5 Section Section AA
SCALE: 1:50



6 Detail Section DETAILS
SCALE:

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REV.	DETAILS	INT	DATE
	E Close Out Report Issue	JW	16.09.2020
T04	Heritage Exemption Approval- Roof and Stumps Replacement	JW	07.04.2020
T03	Heritage RFI- stump detail approval	JW	31.03.2020
T02	Heritage RFI- roofing and stump replacement	JW	12.03.2020

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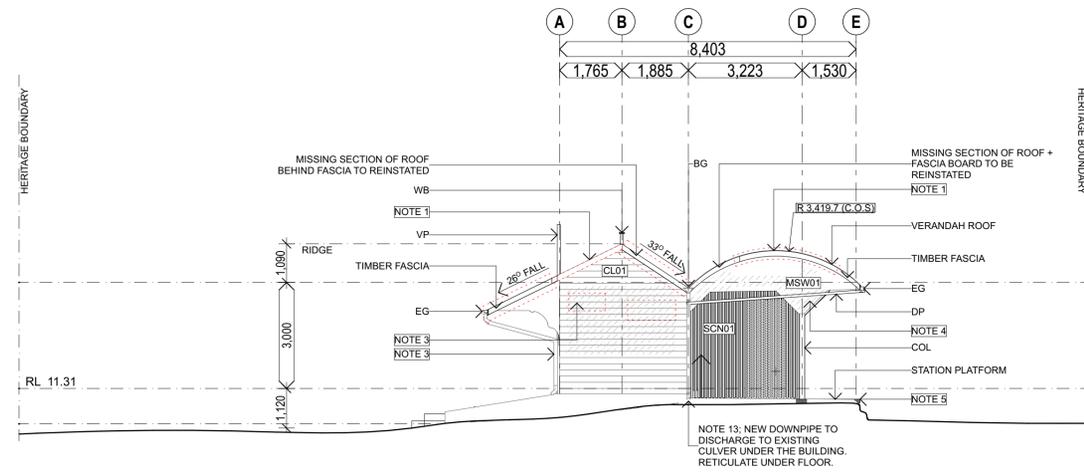
CONDITION LEGEND

	GRAFFITI	CAREFULLY REMOVE THEN REPAINT TO MATCH EXISTING COLOUR.
	BOARDED UP OPENING	CAREFULLY REMOVE COVER AND ASSESS CONDITION OF OPENING. REPAIR FRAME, GLASS AND SURROUNDING FABRIC AS REQUIRED. REPAINT TO MATCH EXISTING COLOUR.
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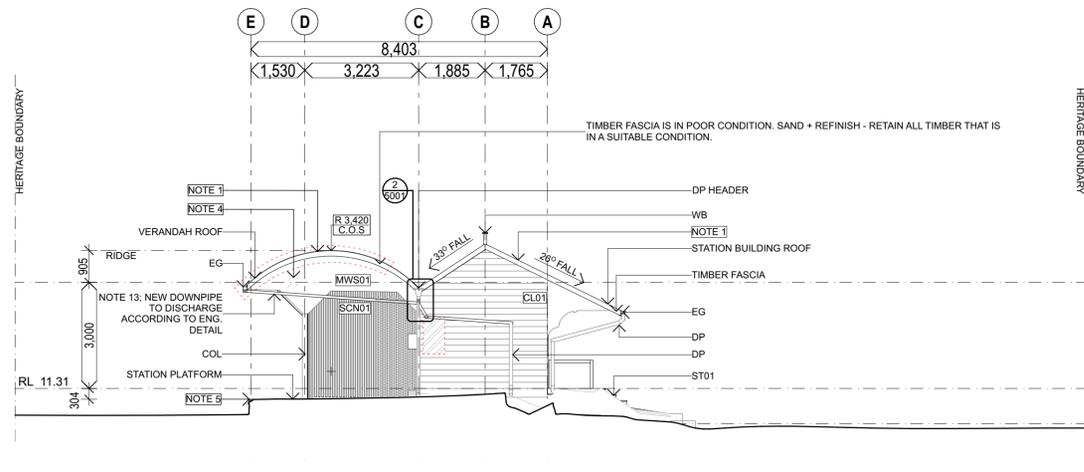
LEGEND

BG	BOX GUTTER
COL	COLUMN
CL##	CLADDING TYPE
D#	NUMBER
DP	DOWNPIPE
EG	EAVES GUTTER
Ex	EXISTING
FL	FLASHING
JU##	JOINERY UNIT
MRS##	METAL ROOF SHEETING
MWS##	METAL WALL SHEETING
R##	RAMP
RC	RIDGE CAPPING
RM	ROOM
SCN##	SCREEN TYPE
ST##	STAIR
T-S	TIMBER STRUT
VP	VAPOUR PIPE
WB	ROOF VENT
W#	WINDOW AS SPECIFIED
	NUMBER

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3 Elevation East
SCALE: 1:100



4 Elevation West
SCALE: 1:100

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client
DEPARTMENT OF STATE DEVELOPMENT

project
YEPPOON STATION BUILDING
3 JAMES STREET 4703 QLD

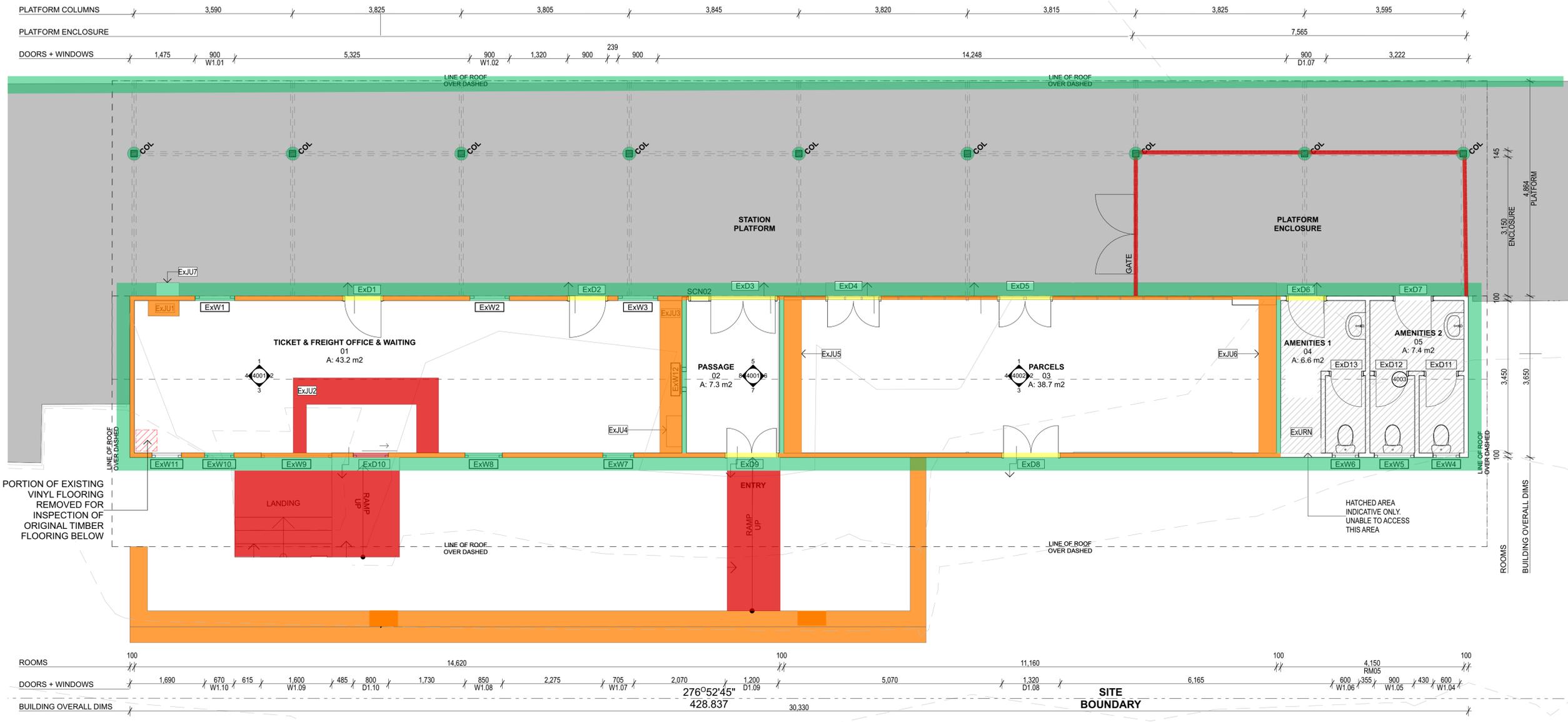
Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	201812	drawn by	SA	checked	AJ
drawing name	ELEVATIONS				N

drawing number	3002	scale	AS INDICATED @A1	rev	E
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REV.	DETAILS	INT	DATE
E	Close Out Report Issue	JW	16.09.2020
D	Heritage Feedback Revision- Internal Works	JW	25.06.2020
C	Heritage Exemption Review - Internal Works	RE	22.05.2020



Significance Code:

- Exceptional significance
- Considerable significance
- Some significance
- Intrusive

- GENERAL NOTES**
1. Confirm details of setbacks, levels, setbacks and critical dimensions on site prior to and during the works. Notify architect of any discrepancies discovered before proceeding.
 2. All construction to comply with the building code of Australia and applicable Australian standards.
 3. A signed original of this drawing is retained in the arkLAB Office for verification purposes.
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project number 201812 drawing name FABRIC ASSESSMENT: SIGNIFICANT ELEMENTS REFERENCE PLAN drawn by SA checked by AJ N

drawing number 4000 scale AS INDICATED @A1 rev E

1 Plan
Ground Floor
 SCALE: 1:50

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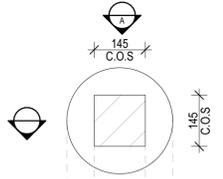
REV.	DETAILS	INT	DATE
E	Close Out Report Issue	JW	16.09.2020
T03	Revised roofing for Heritage Exemption	JW	27.02.2020
T02	Revised Renovation Schedule	JW	23.01.2020
T01	FOR TENDER	LB	25.10.2019

GENERAL NOTES:

- ANY FILL DISTURBED / REMOVED WHEN REPAIRING PLATFORM RETAINING WALL TO BE RETAINED FOR RE-USE.
- UPON COMPLETION OF WORKS RE-COMPACT FILL TO EXTENT DISTURBED.
- ALLOW ALL COSTS FOR ADDITIONAL GRAVEL TO 'MAKE GOOD' PLATFORM FINISH.
- CONTRACTOR TO ENGAGE SURVEYOR - SET OUT HERITAGE BOUNDARY. PROTECT SITE TO EXTENT OF BOUNDARY.
- CONTRACTOR TO DISCHARGE ALL NEW DP'S TO EXISTING STORMWATER UNDER THE BUILDING. RETICULATE UNDER FLOOR. CONTRACTOR TO GAIN PLUMBING APPROVALS AS REQUIRED AND CERTIFY ALL WORKS.
- CONTRACTOR TO FLASH ALL NEW / REINSTATED ROOF PENETRATIONS.

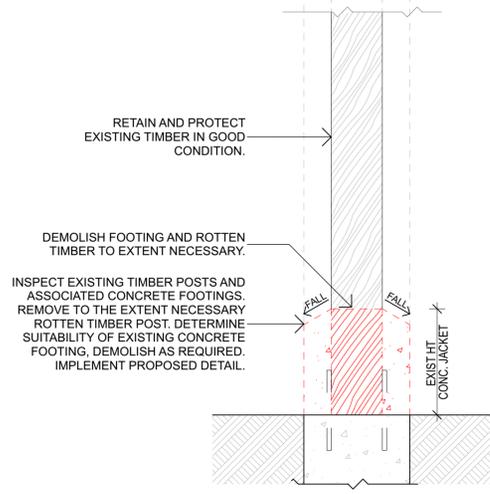
LEGEND

BG	BOX GUTTER
COL	COLUMN
CL##	CLADDING TYPE
D#	DOOR AS SPECIFIED NUMBER
EG	EAVES GUTTER
Ex	EXISTING
FL	FLASHING
JU##	JOINERY UNIT
MRS##	METAL ROOF SHEETING
MWS##	METAL WALL SHEETING
R##	RAMP
RC	RIDGE CAPPING
RM	ROOM
SCN##	SCREEN TYPE
ST#	STAIR
T-S	TIMBER STRUT
VP	VAPOUR PIPE
WB	ROOF VENT
W#	WINDOW AS SPECIFIED NUMBER

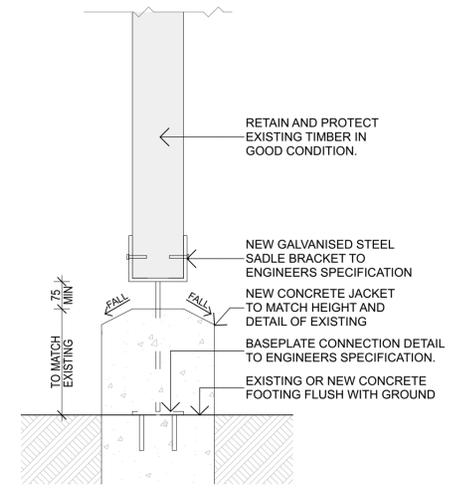


NOTE:
 CONTRACTOR TO ENSURE STRUCTURAL ADEQUACY OF ALL STRUCTURAL ITEMS & FIXINGS.

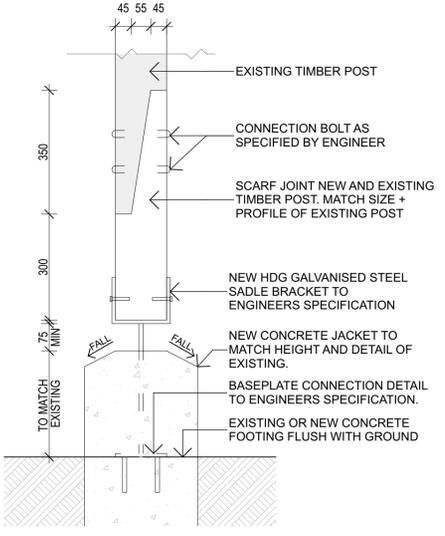
PLAN - DEMOLITION



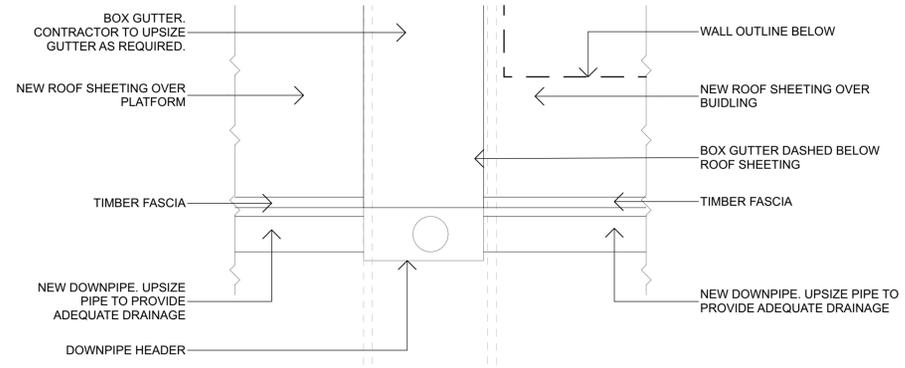
SECTION - DEMOLITION



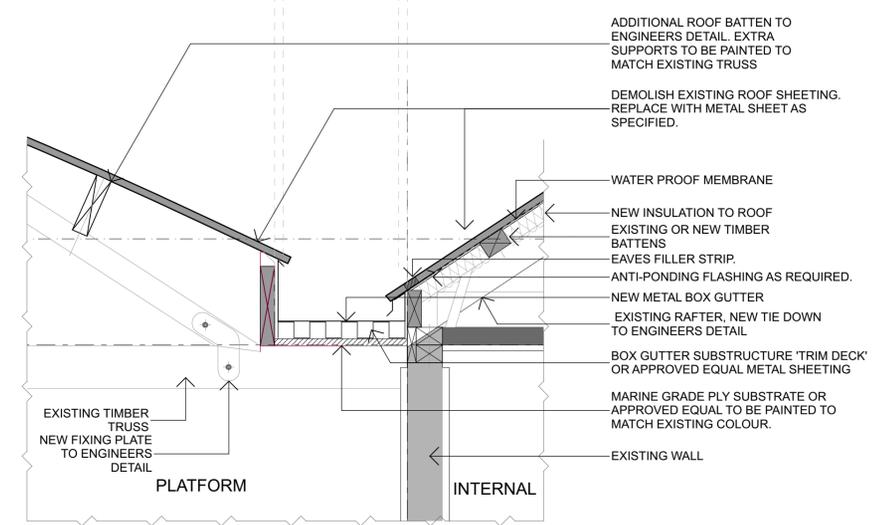
ELEVATION A
 OPTION 1 PROPOSED



ELEVATION A
 OPTION 2 PROPOSED
 (EXTENSIVE ROT)



DETAIL PLAN



DETAIL SECTION

NOTE: CONTRACTOR TO CONNECT ALL DOWNPIPES TO A LEGAL POINT OF DISCHARGE IF NOT ALREADY CONNECTED. CONTRACTOR TO PROVIDE NEW DOWNPIPES IN PLACE OF EXISTING AS REQUIRED. UPSIZE DOWNPIPES TO CATER FOR ANTICIPATED RAINFALL IN THE AREA, DO NOT ADD ADDITIONAL OUTLET POINTS.

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 3 JAMES STREET 4703 QLD

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project number	201812	drawn by	SA	checked	AJ
drawing name	DETAILS				N

drawing number	5001	scale	AS INDICATED @A1	rev	E
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1 Detail Plan
D.01 TYPICAL PLATFORM POST DETAIL
 SCALE: 1:10

RENOVATION SCHEDULE			
Refer 'Paint and Colour Assessment Report' Rev 02 12.12.2019 Colour Scheme A			
All colours and finishes to conform with approved Department of Environment and Science, Cultural Heritage Exemption Certificate			
CODE	DESCRIPTION	MAKE/MODEL	NOTES
BG	Box Gutter	SUPPLIER: Bluescope Steel PRODUCT: metal gutter FINISH: Zincalume Unfinished	Box gutter to match existing size and profile. Contractor to confirm size meets requirements for rain catchment of roof.
EG	Eave Gutter	SUPPLIER: Bluescope Steel PRODUCT: 150 quad FINISH: Colorbond 'Deep Ocean'	150mm quad square min. Contractor to confirm sizing with sub-contractor.
CAP	Capping	SUPPLIER: Bluescope Steel PRODUCT: Flashing FINISH: Colorbond 'Deep Ocean'	Metal cappings to match existing. Barge roll capping and roll-top ridge capping.
FA	Fascia	PRODUCT: Timber Facia FINISH: Painted to match Colorbond 'Deep Ocean'	Timber fascia to match existing profile and size. Like-for-like.
MRS	Metal Roof Sheeting	SUPPLIER: Bluescope steel PRODUCT: Customorb FINISH: Colorbond 'Deep Ocean'	To replace all existing roof sheeting
MWC	Metal Wall Cladding	SUPPLIER: Bluescope steel PRODUCT: Metal Roof sheet FINISH: Galvanised Steel painted Resene 'Quarter Tea'	Patch existing wall sheet if possible in accordance with specification To match existing profile.
TWC	Timber Wall Cladding	SUPPLIER: TBC PRODUCT: Recycled timber weatherboard or Modern timber replica weatherboard FINISH: Painted Resene 'Quarter Tea'	To match existing profile.
CE	Concrete Edging		To match existing profile and size. Like-for-like. Date stamp concealed face.
TE	Timber Edging		Timber to match existing profile and size. Like-for-like. Date stamp concealed face. Ensure suitably protected from termite damage.
DP	Down Pipe	Painted to match adjacent wall	To match existing size and profile. Contractor to confirm size meets requirements for rain catchment of roof
	Platform Awning Structure	Posts up to 1800 AFFL painted Resene 'Tarawera' Posts, beams & trusses above 1800 AFFL painted Resene 'Oxygen'	
	Soffit	Painted Resene 'White'	To match existing
	Screen SCN01	Exist timber batten screen Painted Resene 'Oxygen'	

2 Detail Section
Box Gutter Detail
 SCALE: 1:10

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REV.	DETAILS	INT	DATE
E	Close Out Report Issue	JW	16.09.2020
T01	FOR TENDER	LB	25.10.2019

NOTE: ALL DOORS AND WINDOWS' DIMENSIONS TO BE CONFIRMED ON SITE PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION / RESTORATION WORK.

DOOR & WINDOWS NOTES:

- CONFIRM CONDITION OF ALL DOUBLE HUNG WINDOW SASHES, CHORDS AND WEIGHT MECHANISMS.
- ANY REFURBISHMENT TO BE UNDERTAKEN BY PERSONS WITH MINIMUM 5 YEARS PRIOR EXPERIENCE.
- ANY HARDWARE REPLACE TO MATCH EXISTING. SOURCE HERITAGE FURNITURE IF POSSIBLE.

DOOR LEGEND

Element ID	ExD1	ExD2	ExD3	ExD4	ExD5	ExD6	ExD7	ExD8	ExD9	ExD10	ExD11	ExD12
SYSTEM	Hinged Swing, Timber Frame	Hinged Swing, Timber Frame	Hinged Swing, Timber Frame	Hinged Swing, Timber Frame	Hinged Swing, Timber Frame	Hinged Swing, Timber Frame	Hinged Swing, Timber Frame	Hinged Swing, Timber Frame	Hinged Swing, Timber Frame	Sliding door, Timber Frame	Hinged Swing, Timber Frame	Hinged Swing, Timber Frame
CONDITION	Severely damaged panes and frame	Damaged: scratches and stains	Requires repainting	Requires repainting	Damaged: replacement of slats	Unknown	Unknown	Requires repainting	Lightly damaged: scratches and stains	Requires repainting	Unknown	Unknown

1 Elevation DOOR LEGEND

WINDOW LEGEND

Element ID	ExW1	ExW2	ExW3	ExW4	ExW5	ExW6	ExW7	ExW8	ExW9	ExW10	ExW11	ExW12	ExW13
SYSTEM	Single Sash, Timber Frame	Single Sash, Timber Frame	Single Sash, Timber Frame	Louvres	Louvres	Louvres	Casement, Timber Frame	Casement, Timber Frame	Unknown	Casement, Timber Frame	Unknown	Single Sash, Timber Frame	Fixed Glazing Transom, Timber Frame
CONDITION	Broken Glass and peeled off paint	Paint Peeling	Broken Glass and peeled off paint	Broken glass, Deteriorated louvre gallery	Broken glass, Deteriorated louvre gallery	Broken glass, Deteriorated louvre gallery	Paint Peeling	Broken Glass and peeled off paint	Unknown	Broken Glass and peeled off paint	Unknown	Paint Peeling	Paint Peeling

2 Elevation WINDOW LEGEND

NOTE: REFER TO SPECIFICATION FOR DETAILS ON REFURBISHMENT METHODOLOGIES.

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project number 201812 drawn by SA checked AJ
 drawing name DOOR & WINDOW SCHEDULE

drawing number 6001 scale AS INDICATED @A1 rev E

APPENDIX C
The Station - Images of Building and Surrounds



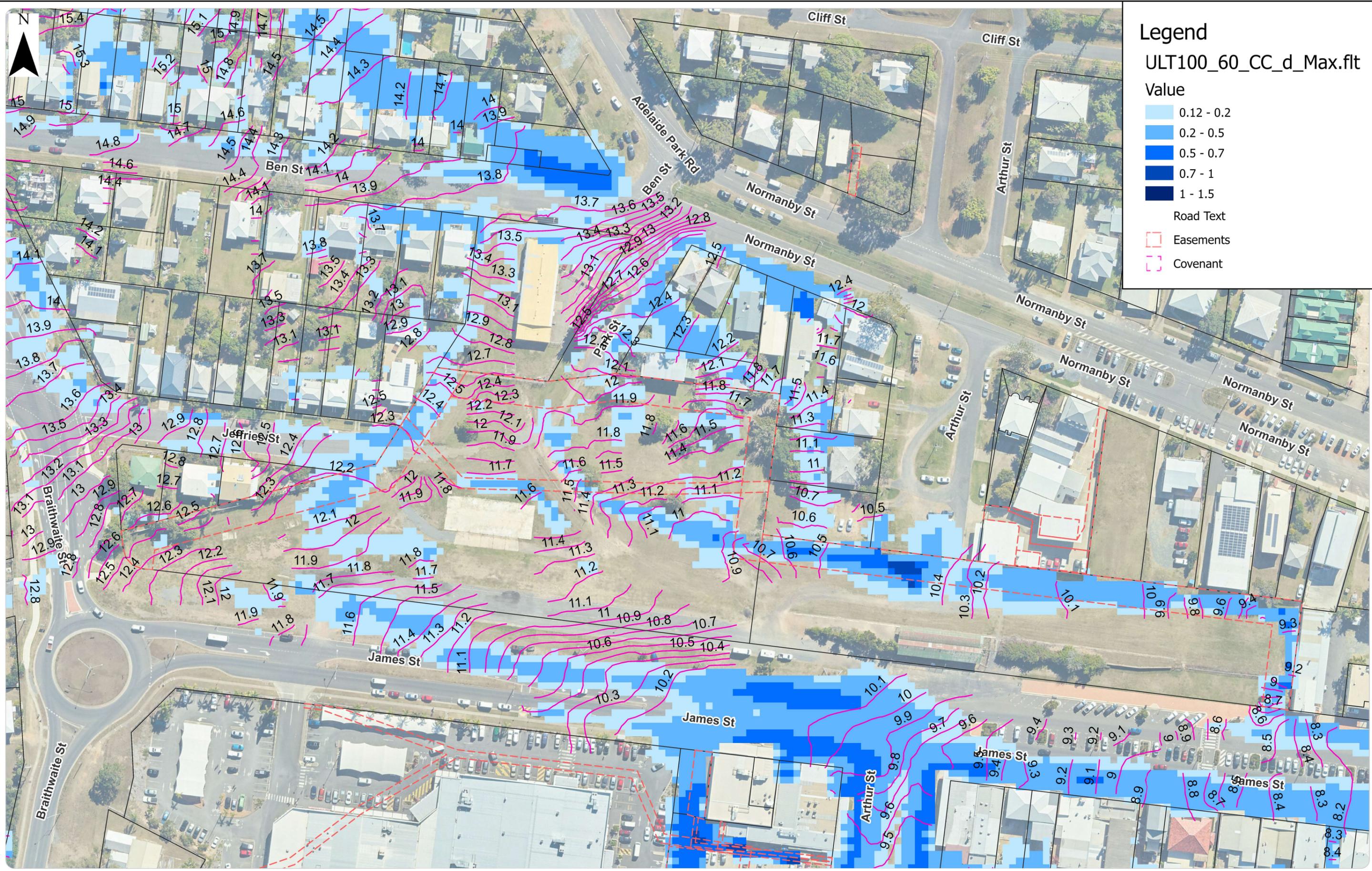












Legend
 ULT100_60_CC_d_Max.ft

Value

- 0.12 - 0.2
- 0.2 - 0.5
- 0.5 - 0.7
- 0.7 - 1
- 1 - 1.5

Road Text

Easements

Covenant

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1% AEP - Existing, WaterSurfaceLevel mAHd

Flooding extents are indicative only and can change depending on local conditions at the time of the event.

